



**Design Review Board (DRB)  
Staff Report**

*Exterior Renovation*

Case # 18-53:

LEO Events  
407 & 411 Monroe Ave.  
Memphis, TN 38103

Applicant/Owner:

River Hawk Properties, LLC  
265 S. Front St.  
Memphis, TN 38103

Background:

LEO Events is renovating two parcels within The Edge Master Development which received a 20-year PILOT at the July 8, 2017 CCRFC Board Meeting. Upon occupying the building, LEO Events can accommodate 22 employees in offices or workstations with plans to grow at least 25% company-wide in the first 24 months which will eventually require a takeover of the entire building.

In the newly renovated two structures, 10,000 SF will be used for the LEO Events Corporate Headquarters and 7,000 SF will be available as leasable office space with plans for LEO Events to occupy the entire building in the future. LEO Events has plans to connect the 411 and 407 buildings through an interior hallway connector making the two buildings into one and allowing for its corporate headquarters to occupy the entire lower level.

The former Wonder Bread site received a PILOT with the belief that putting this site back into productive use will add significant vibrancy to a district that has long been on the verge of transformation. This development will also address prominent blight in the neighborhood.

Project Description:

A retail entrance off Monroe is planned in addition to vehicular entrance and surface parking lot just west of the main building. The project will include extensive exterior lighting for vehicular and pedestrian safety considering the around the clock nature of event planning. The storefront will be renovated to replace the old broken garage doors into a retail entrance with transparent glass and windows. New aluminum storefront systems will be installed while

repainting the existing exterior brick and the cast iron ornamental pilasters. The storefront will also be complimented by a new sidewalk with landscaping, lighting and a security gate. The fire escape will be relocated further south on the western building elevation, infilling the previous opening with brick and a new window, and adding a new door and egress stair. Windows will also be repainted and multiple overhead doors will be replaced with new doors or aluminum storefronts.

Signage will be addressed in a separate DRB application.

**Staff Report:**

The proposed exteriors are consistent with the Downtown Memphis Design Guidelines and DMC priorities of designing to fit within context and enhancing pedestrian experiences.

The proposed renovation of the existing property proposes minimal exterior work to keep the character of the building while introducing contemporary finishes. The new storefront systems will be aluminum and in most cases replace an existing overhead door, keeping a similar glass aesthetic. Additional components such as ornamental pilasters, architectural details, and steel windows will be preserved, harnessing the age of the building while allowing for necessary updates for active use. Staff believes the proposed exterior work is consistent with buildings in the area and appropriate for the context.

The new sidewalk, street trees and pedestrian oriented exterior lighting will improve the pedestrian experience while maximizing the presence of LEO Events on Monroe. The ornamental fencing for the parking lot adds visual interest to the property while also similarly addressing surface parking lots in the neighborhood.

Staff is supportive of the proposed designs which will serve as a strong addition to the EDGE neighborhood and activate the southern side of Monroe Ave., strengthening its role as a main corridor of Downtown.

**Staff Recommendation:** **Staff recommends approval.**



## DESIGN REVIEW BOARD APPLICATION

Administered by:  
Design Review Board

Property Address\*: 407, 411 Monroe

Applicant Name & Mailing Address: River Hawk Properties, LLC 265 S. Front Street Memphis, TN 38103

Applicant Phone Number: 901-766-1836 Applicant Fax Number: \_\_\_\_\_

Property Owner's Name & Mailing Address: River Hawk Properties, LLC 265 S. Front Street Memphis, TN 38103

Property Owner's Phone Number: 901-766-1836

The proposed work consists of the following (check all that apply):

- Sign  Renovation   
New Building  Other Exterior Alteration

Project Description:  
See Attached

Status of Project:  
Site Demolition

**A complete application must be submitted to the Development Department no later than two weeks before a regularly scheduled meeting of the Design Review Board.** Please contact Ellery Ammons at (901)575-0564 or ammons@downtownmemphis.com.

Owner/Applicant Signature: 

Date: 4-17-18

\*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.

River Hawk Properties, LLC  
Downtown Memphis Commission  
Design Review Board Application  
407-411 Monroe

The project is designed to turn a deteriorating former automobile service facility into first class office space housing LEO Events corporate headquarters. This property will be an integral part in the redevelopment of the EDGE district and enhance the proposed Bakery development and Orion headquarters across the street as well as the Bicycle Shop to the east. The 411/407 Monroe redevelopment will help to heighten the developments that are already happening to the east of the site with High Cotton Brewery.

10,000 SF will be used for the LEO Events Corporate Headquarters and 7,000 SF will be available as leasable office space with plans for LEO Events to occupy the entire building in the future.

Many years of neglect on the buildings is evident and a complete demolition of the interior is needed for the space to be occupied. There is major termite damage as well as water damage on the second floor that will require all the existing wood to be removed and is unsalvageable. The buildings need a refurbishment to bring life back into the space and ultimately to complement and enhance the look and feel of the proposed developments in the Edge district.

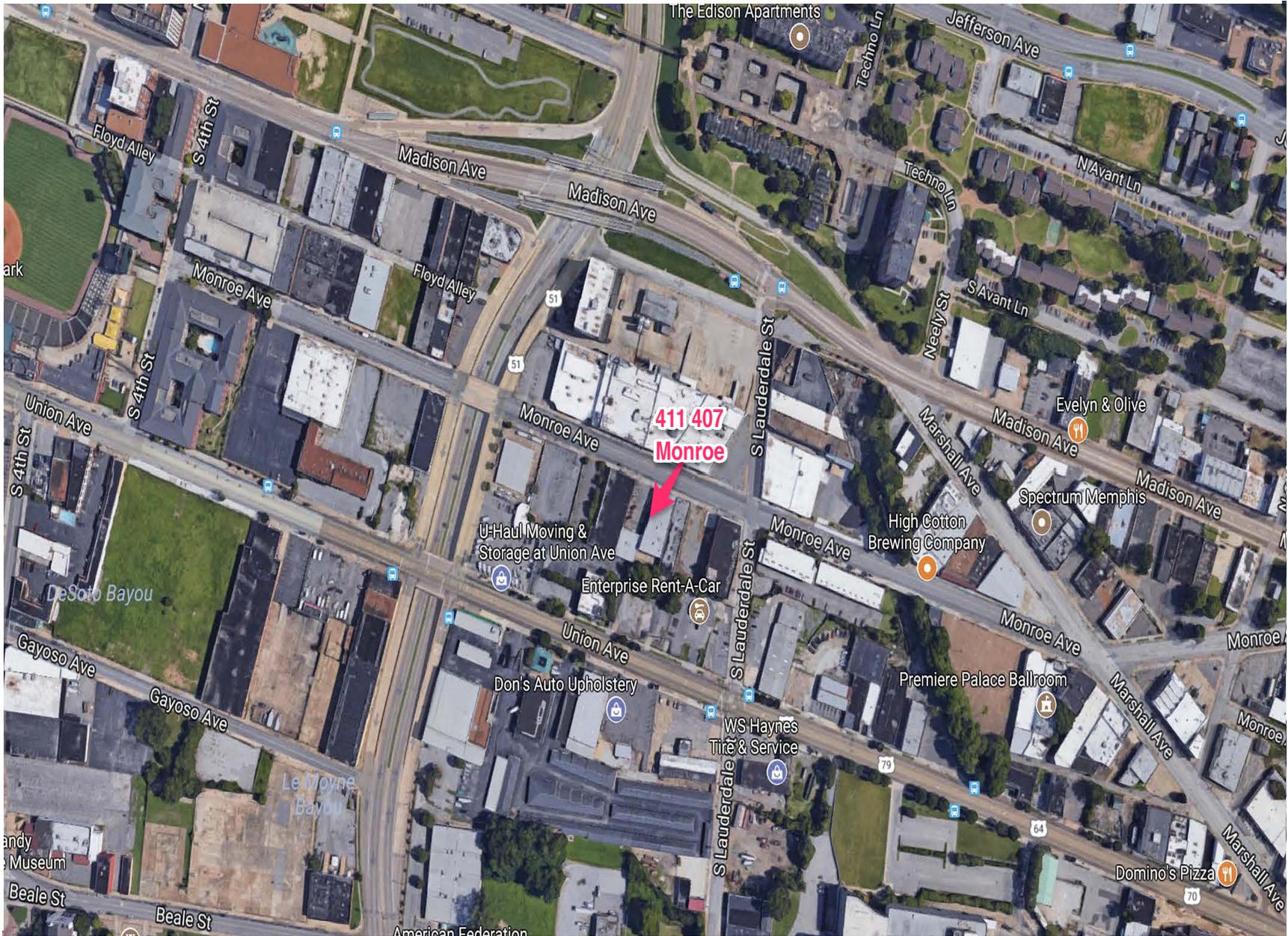
LEO Events has plans to connect the 411 and 407 buildings through an interior hallway connector making the two buildings into one and allowing for its corporate headquarters to occupy the entire lower level. A stunning retail entrance off Monroe is planned with a large conference room with beautiful views of the soon to be thriving neighborhood. Hosting large planning meetings for our clients will be frequent in the space so we've designed multi-faceted meeting and entertainment space that will allow for our employees and our clients to meet at a table, at a bar, in an office or in the outdoor patio and courtyard in the back of the building that we plan on transforming into a collaborative area that will appeal to those that want fresh air. Upon occupying the building, LEO Events can accommodate 22 employees in offices or workstations with plans to grow at least 25% company-wide in the first 24 months which will eventually require a takeover of the entire building.

Convenient parking and accessible loading/unloading is key for LEO Events, River Hawk Properties plan to convert the existing blighted parking lot and transform it into paved and landscaped lot that connects to the 407 entrances. Exceptional exterior lighting and security gates are key as our team can be making trips in and out of the building early mornings, late nights and weekends to service events.

An exterior storefront renovation is desired as well to replace the old broken and dilapidated garage doors into a retail entrance with lots of glass and windows that is complimented by an attractive sidewalk with landscaping, lighting, security gate, signage that will complement the neighborhood, and even a bike rack for employees that wish to live, work and play in

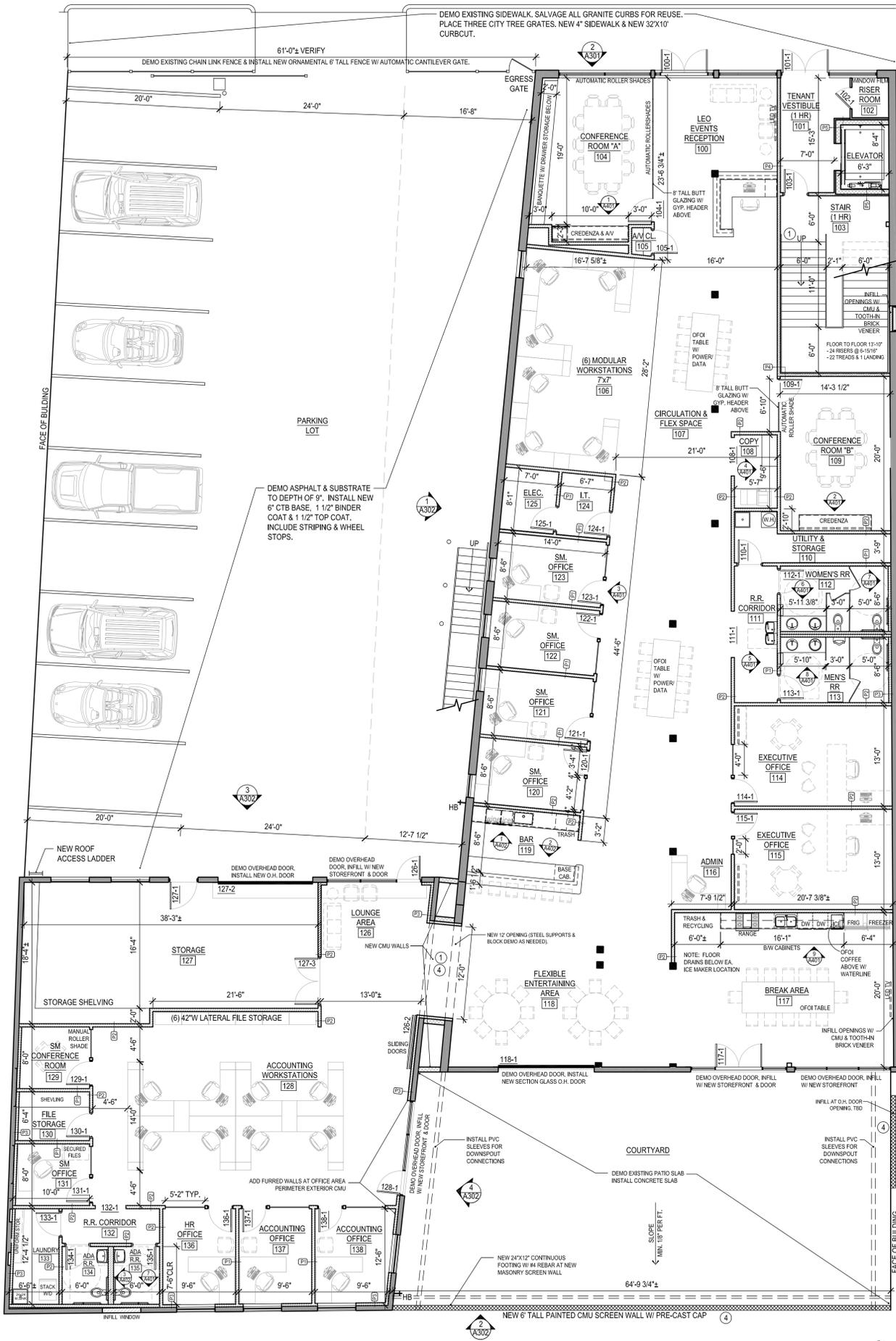
downtown Memphis and the Edge. The exterior color is not finalized at this point but will be painted brick.

Signage is not part of this submittal and will be submitted separately at a future date.

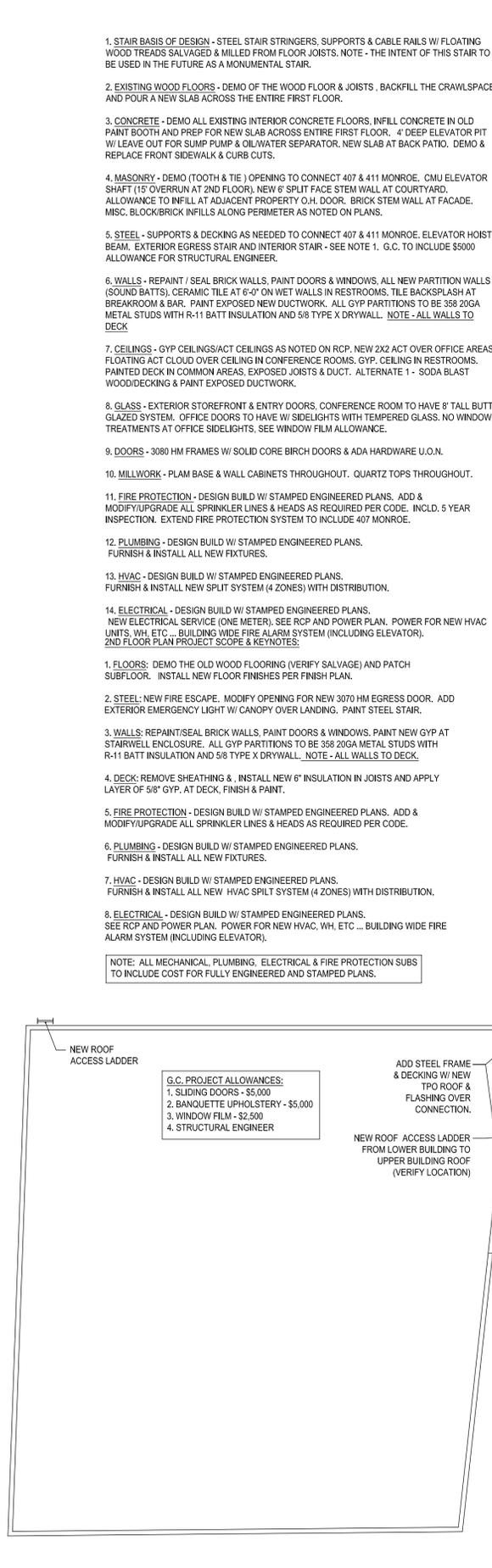








1 Proposed First Floor Plan - Dual Tenants  
Scale: 1/8" = 1'-0"



2 Proposed Second Floor Plan - Dual Tenants  
Scale: 1/8" = 1'-0"

1. STAIR BASIS OF DESIGN - STEEL STAIR STRINGERS, SUPPORTS & CABLE RAILS W/ FLOATING WOOD TREADS SALVAGED & MILLED FROM FLOOR JOISTS. NOTE - THE INTENT OF THIS STAIR TO BE USED IN THE FUTURE AS A MONUMENTAL STAIR.
2. EXISTING WOOD FLOORS - DEMO OF THE WOOD FLOOR & JOISTS, BACKFILL THE CRAWLSPACE AND POUR A NEW SLAB ACROSS THE ENTIRE FIRST FLOOR.
3. CONCRETE - DEMO ALL EXISTING INTERIOR CONCRETE FLOORS, INFILL CONCRETE IN OLD PAINT BOOTH AND PREP FOR NEW SLAB ACROSS ENTIRE FIRST FLOOR. 4" DEEP ELEVATOR PIT W/ LEAVE OUT FOR SUMP PUMP & OIL/WATER SEPARATOR. NEW SLAB AT BACK PATIO. DEMO & REPLACE FRONT SIDEWALK & CURB CUTS.
4. MASONRY - DEMO (TOOTH & TIE) OPENING TO CONNECT 407 & 411 MONROE. CMU ELEVATOR SHAFT (15' OVERRUN AT 2ND FLOOR), NEW 6" SPLIT FACE STEM WALL AT COURTYARD. ALLOWANCE TO INFILL AT ADJACENT PROPERTY O.H. DOOR. BRICK STEM WALL AT FACADE. MSC. BLOCK/BRICK INFILLS ALONG PERIMETER AS NOTED ON PLANS.
5. STEEL - SUPPORTS & DECKING AS NEEDED TO CONNECT 407 & 411 MONROE. ELEVATOR HOIST BEAM, EXTERIOR EGRESS STAIR AND INTERIOR STAIR - SEE NOTE 1. G.C. TO INCLUDE \$9000 ALLOWANCE FOR STRUCTURAL ENGINEER.
6. WALLS - REPAINT / SEAL BRICK WALLS, PAINT DOORS & WINDOWS, ALL NEW PARTITION WALLS (SOUND BATT), CERAMIC TILE AT 6'-0" ON WET WALLS IN RESTROOMS, TILE BACKSPASH AT BREAKROOM & BAR. PAINT EXPOSED NEW DUCTWORK, ALL GYP PARTITIONS TO BE 3/8" 20GA METAL STUDS WITH R-11 BATT INSULATION AND 5/8" TYPE X DRYWALL. NOTE - ALL WALLS TO DECK.
7. CEILINGS - GYP CEILING/ACT CEILINGS AS NOTED ON RCP. NEW 2X2 ACT OVER OFFICE AREAS. FLOATING ACT CLOUD OVER CEILING IN CONFERENCE ROOMS, GYP. CEILING IN RESTROOMS. PAINTED DECK IN COMMON AREAS, EXPOSED JOISTS & DUCT. ALTERNATE 1 - SODA BLAST WOOD/DECKING & PAINT EXPOSED DUCTWORK.
8. GLASS - EXTERIOR STOREFRONT & ENTRY DOORS, CONFERENCE ROOM TO HAVE 8" TALL BUTT GLAZED SYSTEM. OFFICE DOORS TO HAVE W/ SIDELIGHTS WITH TEMPERED GLASS. NO WINDOW TREATMENTS AT OFFICE SIDELIGHTS. SEE WINDOW FILM ALLOWANCE.
9. DOORS - 3080 HM FRAMES W/ SOLID CORE BIRCH DOORS & ADA HARDWARE U.O.N.
10. MILLWORK - PLAM BASE & WALL CABINETS THROUGHOUT. QUARTZ TOPS THROUGHOUT.
11. FIRE PROTECTION - DESIGN BUILD W/ STAMPED ENGINEERED PLANS. ADD & MODIFY/UPGRADE ALL SPRINKLER LINES & HEADS AS REQUIRED PER CODE. INCLD. 5 YEAR INSPECTION. EXTEND FIRE PROTECTION SYSTEM TO INCLUDE 407 MONROE.
12. PLUMBING - DESIGN BUILD W/ STAMPED ENGINEERED PLANS. FURNISH & INSTALL ALL NEW FIXTURES.
13. HVAC - DESIGN BUILD W/ STAMPED ENGINEERED PLANS. FURNISH & INSTALL NEW SPLIT SYSTEM (4 ZONES) WITH DISTRIBUTION.
14. ELECTRICAL - DESIGN BUILD W/ STAMPED ENGINEERED PLANS. NEW ELECTRICAL SERVICE (ONE METER), SEE RCP AND POWER PLAN. POWER FOR NEW HVAC UNITS, WH, ETC ... BUILDING WIDE FIRE ALARM SYSTEM (INCLUDING ELEVATOR). 2ND FLOOR PLAN PROJECT SCOPE & KEYNOTES:

NOTE: ALL MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION SUBS TO INCLUDE COST FOR FULLY ENGINEERED AND STAMPED PLANS.

- G.C. PROJECT ALLOWANCES:
1. SLIDING DOORS - \$5,000
  2. BANQUETTE UPHOLSTERY - \$5,000
  3. WINDOW FILM - \$2,500
  4. STRUCTURAL ENGINEER



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02.15.2018



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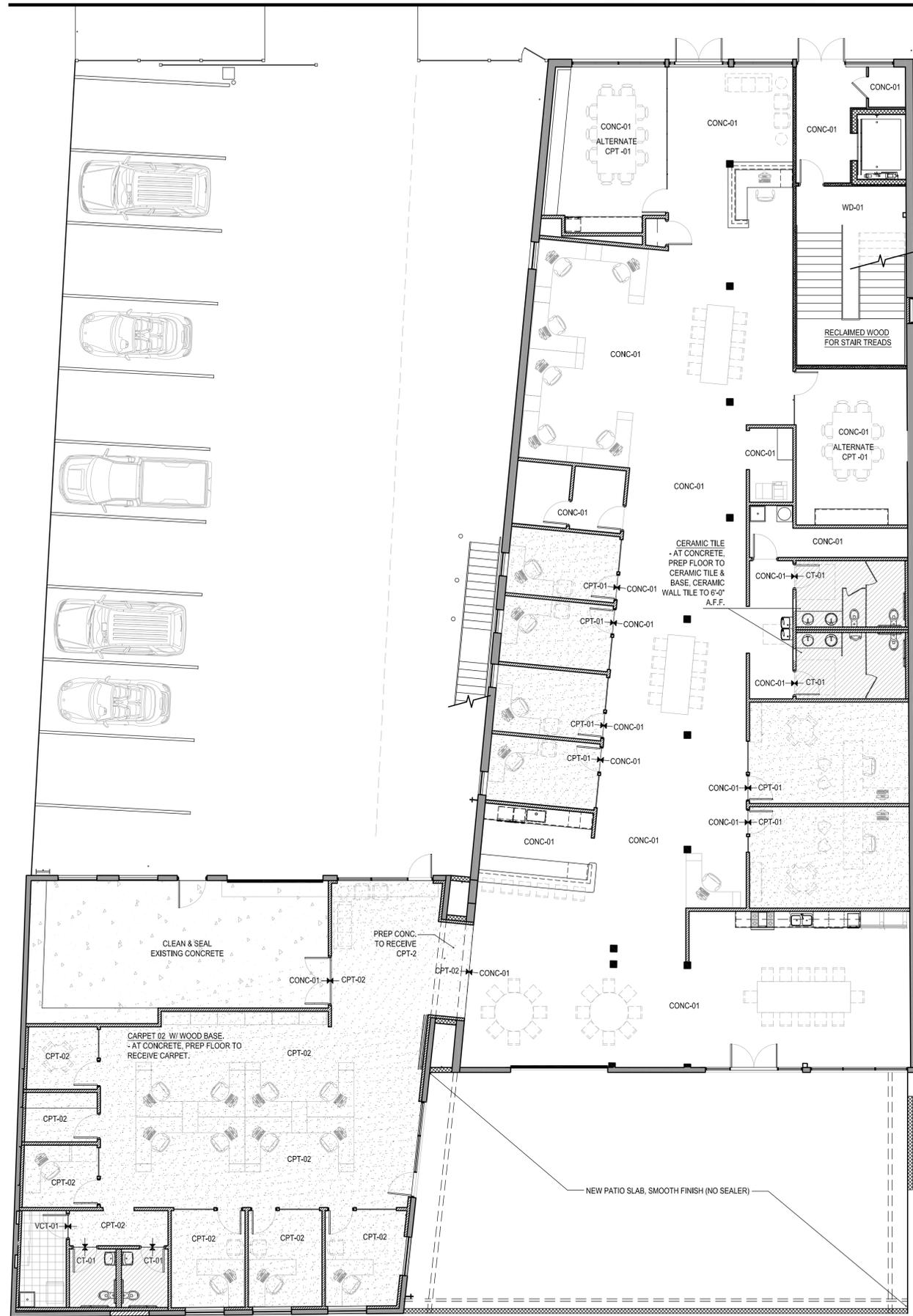
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Revision	Date	No.
Pricing Documents	10.23.2017	
Bid Documents	11.14.2017	
Permit Documents	02.15.2018	

First & Second Floor Plans  
- Dual Tenants

Scale 1/8"=1'-0"  
Date 2018.02.15 Project No. 2017-25

In Charge MS  
Drawn By CS  
A101

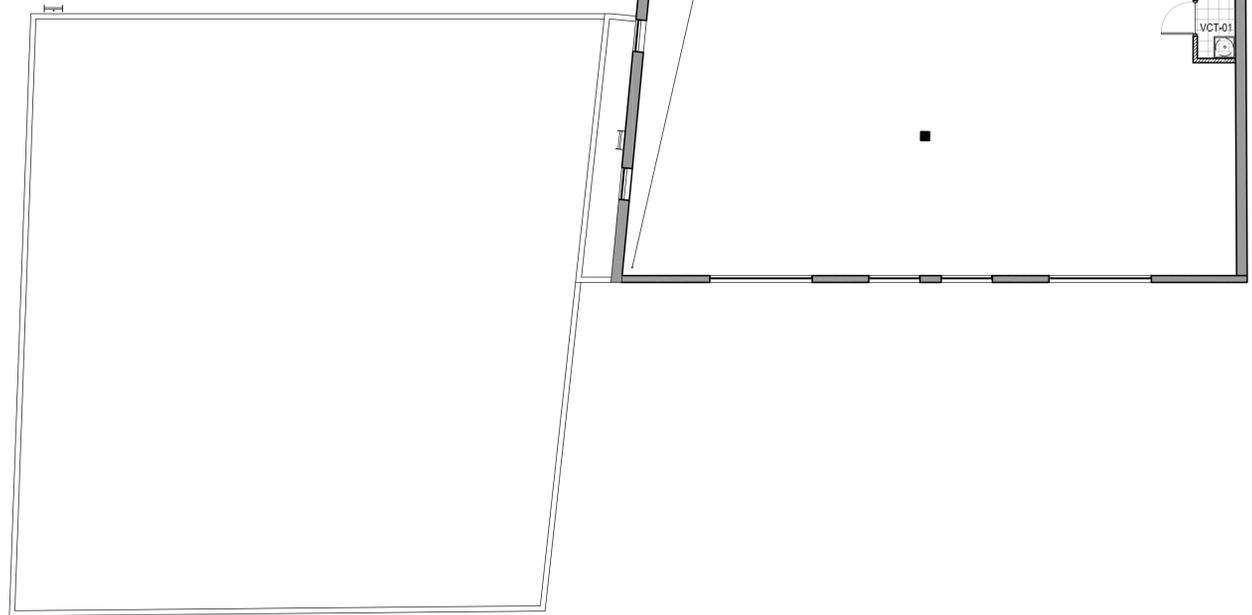


1 First Floor Finish Plan  
Scale: 1/8" = 1'-0"

### FINISH LEGEND

FLOORING	CEILING	WALLS/ TRIM / FRAMES
WD-01 ENGINEERED FLOORING GREER: COLOR TBD 5" PRE-FINISHED PLANKS	ACT-01 ACOUSTICAL TILE -TYPICAL ARMSTRONG 24X24X3/4 1911 ULTIMA TEGULAR BEVEL 9/16 GRID	PT - 01 SHERWIN WILLIAMS COLOR & FINISH: TBD
CONC-01 STAINED & SEALED CONCRETE, COLOR TBA	ACT-02 FLOATING CEILING SYSTEM	PT - 02 SHERWIN WILLIAMS COLOR & FINISH: TBD
CPT-01 ALTERNATE PRICE- INTEGRAL COLOR & SEALED	BASE	PT - 03 SHERWIN WILLIAMS COLOR & FINISH: TBD
CPT-02 SHAW CONTRACT SCULPT TILE ST007 COLOR - TBD	WB-01 PAINTED 1x4 WOOD BASE W/ EASED EDGE COLOR - TBD	PT - 04 SHERWIN WILLIAMS WOOD BASE & DOOR FRAMES ENAMEL OIL COLOR: TBD
VCT-01 VINYL COMPOSITE TILE MANNINGTON ESSENTIALS COLOR: TBD	WB-01 VINYL BASE- JOHNSONITE (AT VCT ONLY) COLOR - TBD	CWT-01 CERAMIC TILE- WALL 12X24 CONTEMPO GRAPHIC - 6290A (RR WET-WALLS TO 6" AFF)
CT-01 CERAMIC TILE CONTEMPO GRAPHIC - 6290A	CTB-01 CERAMIC TILE BASE CONTEMPO GRAPHIC - 6290A	CWT-02 8X16 GLASS WORKS COLOR - MEKONG GW-MEK1606C (BREAKROOM & BAR BACKSPLASH)
	DOORS	COUNTERTOPS
	ST - 01 SHERWIN WILLIAMS TBA	SS-01 RECEPTION DESK QUARTZ
		SS-02 CONFERENCE ROOM CONSOLE QUARTZ
		SS-03 BREAK AREA QUARTZ
		SS-04 BAR QUARTZ
		SS-05 RESTROOMS QUARTZ

NOTE: ALL FINISH SELECTIONS TO BE VERIFIED BY INTERIOR DESIGNER



2 Second Floor Finish Plan  
Scale: 1/8" = 1'-0"



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Finish Plan & Finish Legend

Scale 1/8"=1'-0"

Date 2018.02.15 Project No. 2017-25

In Charge MS  
Drawn By CS

A103

ELECTRICAL NOTES

1. PLAN LAYOUT SHOWN IN THESE DOCUMENTS ARE SCHEMATIC AND ARE INTENDED TO ILLUSTRATE DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL DESIGN INCLUDING BUT NOT LIMITED TO SERVICE ENTRY, PANEL SIZE AND CIRCUITRY.
2. THE SCOPE OF WORK INDICATED SHALL BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO, THE STANDARD ELECTRIC CODE AND THE NATIONAL ELECTRIC CODE (LATEST APPLICABLE EDITIONS).
3. THE ELECTRICAL WORK SHOWN ON THE SUBMITTED PLANS SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL SECURE AN ELECTRICAL PERMIT FOR HIS/HER PORTION OF THE WORK PRIOR TO INSTALLATION.
4. COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES.
5. CONFIRM ELECTRICAL REQUIREMENTS FOR ANY OWNER SUPPLIED ITEMS PRIOR TO WIRING OR FINAL CIRCUITING.
6. SUBMIT OUT SHEETS FOR ELECTRICAL FIXTURES TO OWNER/ARCHITECT.
7. DUPLEX OUTLETS AND VOICE/DATA OUTLETS SHALL BE MOUNTED 18" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
8. SWITCHES SHALL BE MOUNTED 48" ABOUT FINISH FLOOR UNLESS OTHERWISE NOTED.
9. OUTLETS OF ANY TYPE SHALL NEVER BE INSTALLED BACK TO BACK. OUTLETS IN RATED WALLS MUST BE INSTALLED 24" APART.

LIGHTING FIXTURES

- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED EXHAUST FANLIGHT COMBINATION FIXTURE
- SPEAKER
- RECESSED LED LIGHTING FIXTURE
- WALL MOUNTED LED LIGHTING FIXTURE
- WALL MOUNTED SINGLE FACE EXIT LIGHT WITH ARROW
- COMBINATION EXIT SIGN AND TWIN HEAD BATTERY OPERATED FIXTURE

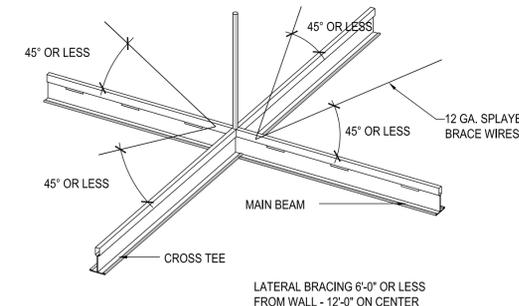


1 Proposed First Floor Reflected Ceiling Plan  
Scale: 1/8" = 1'-0"

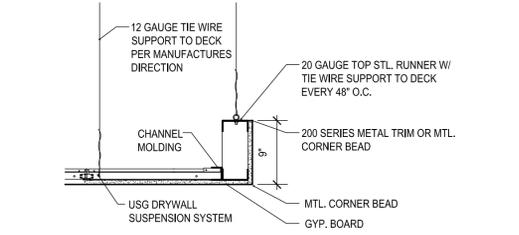
### LIGHT FIXTURE SCHEDULE

Fixt.	Description	Manufacturer	Model No.	Mtg.	Furnished
L1	6" RECESS LED	-	-	CEILING	C.F.C.I.
L2	PENDENT FIXTURE AT RECEPTION	-	-	CEILING	O.F.C.I.
L3	1'X4' SUSPENDED LED - DOWN & UP LIGHTING	-	-	CEILING	C.F.C.I.
L4	2'X4' RECESSED - LED ENCLOSED ARCH LENS	-	-	CEILING	C.F.C.I.
L5	BATHROOM FIXTURE	-	-	WALL	O.F.C.I.
L6	LINEAR LED FIXTURE	-	-	WALL	C.F.C.I.
L7	PENDENT FIXTURES AT BREAK AREA	-	-	CEILING	O.F.C.I.
L8	PENDENT CYLINDER FIXTURES AT FLEX AREAS	-	-	CEILING	C.F.C.I.
L9	2'X2' RECESSED - LED	-	-	CEILING	C.F.C.I.
L10	1'X4' SUSPENDED LED	-	-	CEILING	C.F.C.I.
L11	INTEGRATED EXIT/UNIT COMBOS - LED	DUAL LITE	EVCURWD4	WALL	C.F.C.I.
L12	EXTERIOR LED WALL PACK	-	-	WALL	C.F.C.I.
L13	EXTERIOR FACADE LIGHTING	-	-	WALL	O.F.C.I.
L14	PENDANT FIXTURES AT COMMUNITY TABLES	-	-	CEILING	O.F.C.I.
L15	PENDANT FIXTURES AT BARTOP	-	-	WALL	O.F.C.I.
L16	EXTERIOR WALL SCONCE	-	-	CEILING	O.F.C.I.
L17	EXTERIOR CEILING FANS	-	-	CEILING	O.F.C.I.
L18	EXTERIOR STRING LIGHTS	-	-	CEILING	O.F.C.I.

NOTE: ELECTRICAL CONTRACTOR TO PROVIDE BID BREAKOUT MATERIAL ALLOWANCE OF CONTRACTOR FURNISHED (C.F.) LIGHT FIXTURE NOTE IN SCHEDULE

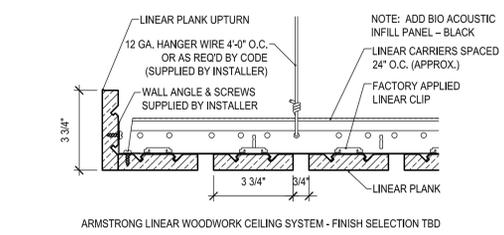


2 Detail - Ceiling Restraints  
Scale: NTS

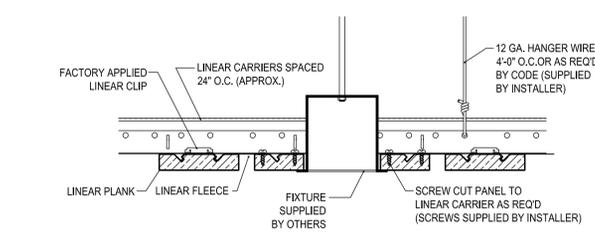
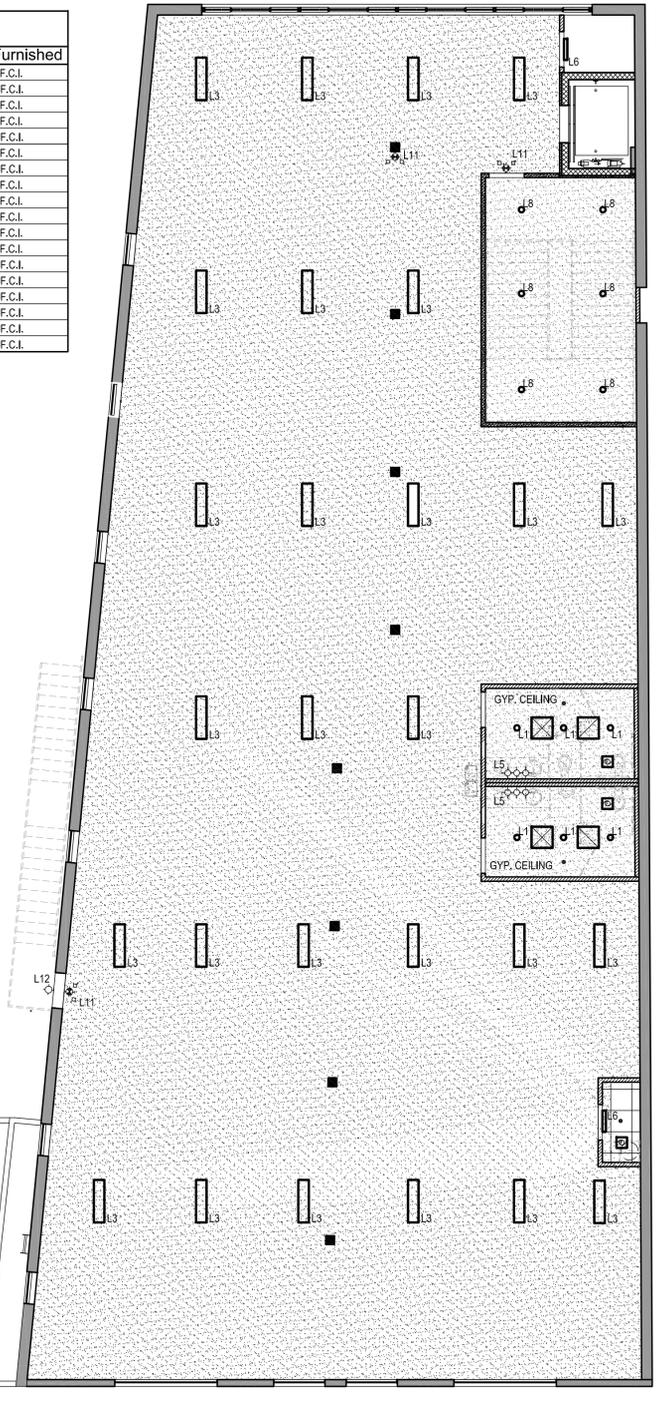


3 Detail - Floating Gyp. Ceiling  
Scale: 1" = 1'-0"

4 Proposed Second Floor Reflected Ceiling Plan  
Scale: 1/8" = 1'-0"



5 Detail - Suspended Wood Ceiling  
Scale: 3"=1'-0"



6 Detail - Suspended Wood Ceiling at Fixture  
Scale: 3"=1'-0"



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Reflected Ceiling Plan & Details  
Scale: 1/8"=1'-0"  
Date: 2018.02.15 Project No.: 2017-25  
In Charge: MS  
Drawn By: CS  
**A201**



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Existing Exterior Elevations & Proposed Changes

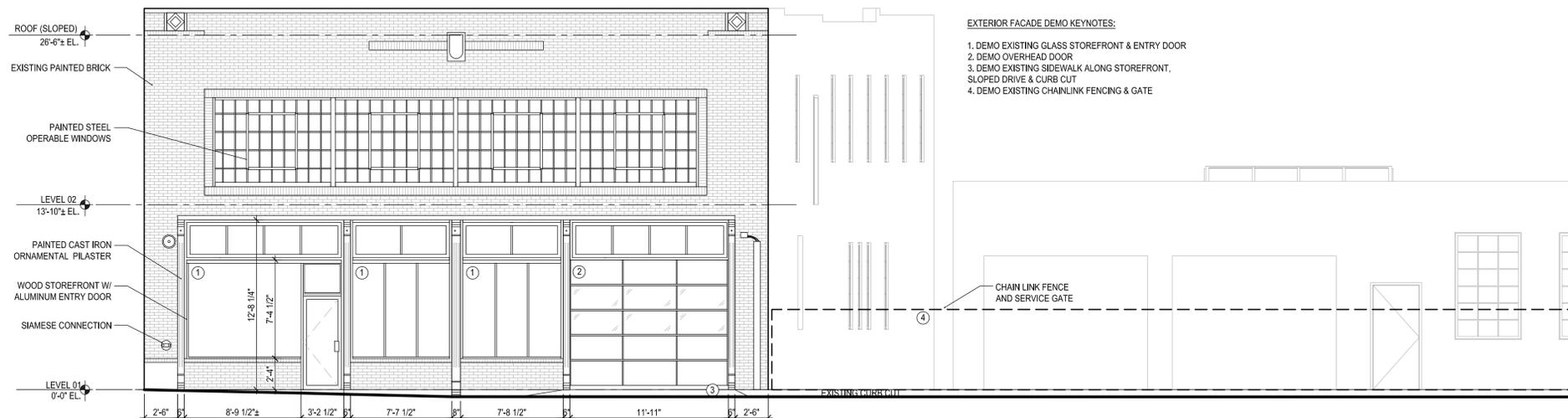
Scale 3/16" = 1'-0"

Date 2018.02.15 Project No. 2017-25

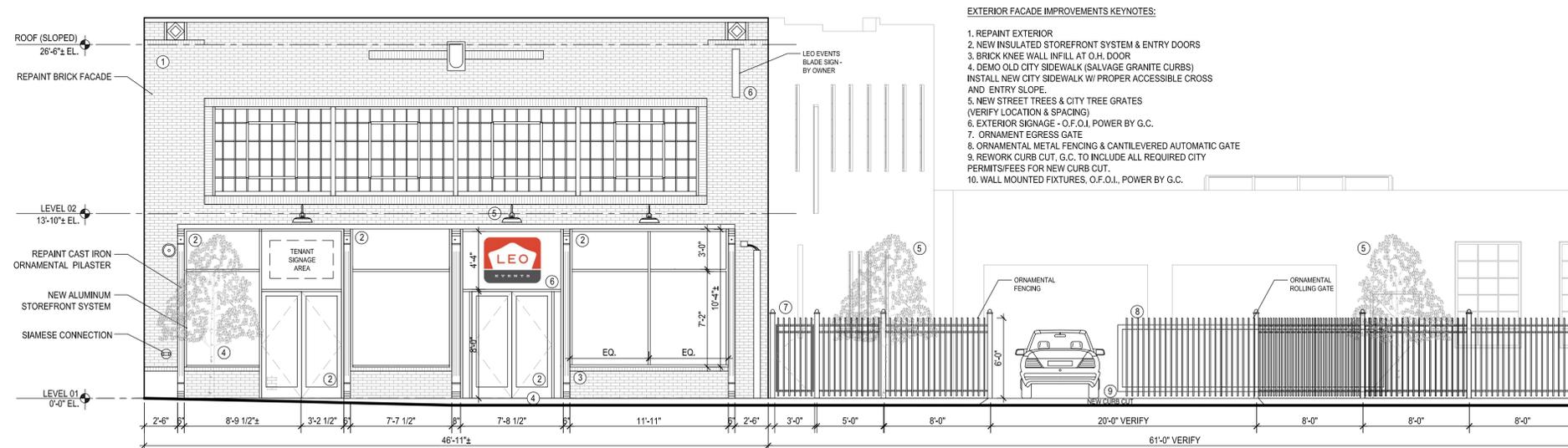
In Charge MS  
Drawn By CS

A301

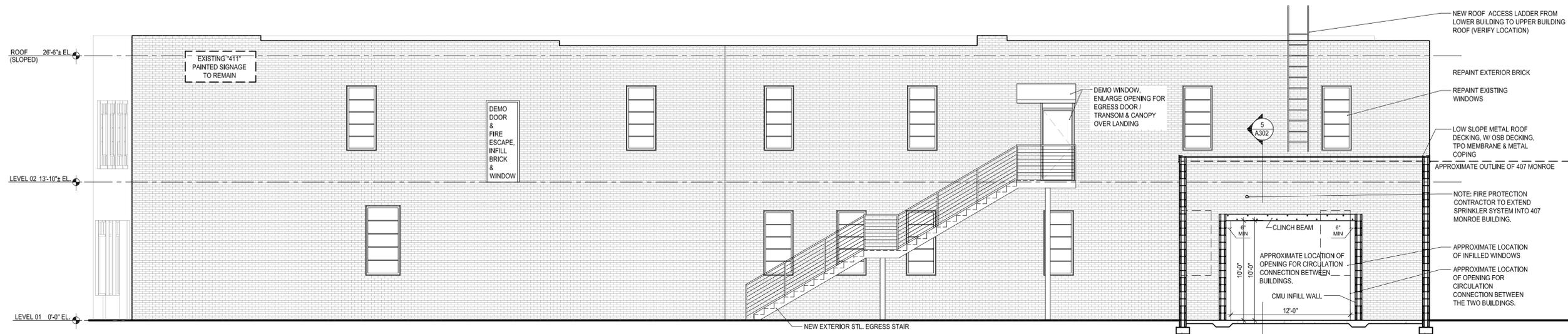
1 Context Existing Images  
Scale: NTS



2 Existing North Elevation  
Scale: 3/16" = 1'-0"



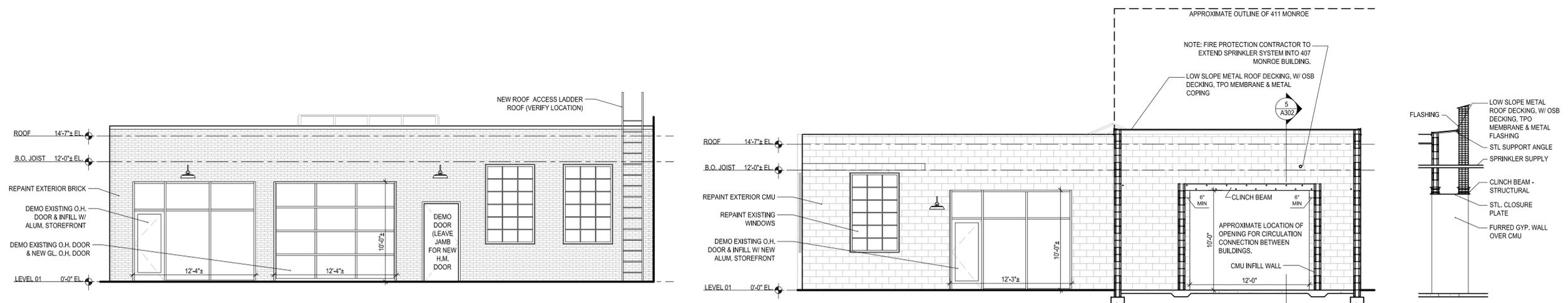
3 Proposed North Elevation Facade Improvements  
Scale: 3/16" = 1'-0"



1 West Elevation  
Scale: 1/8" = 1'-0"



2 South Elevation (Courtyard)  
Scale: 3/16" = 1'-0"



3 North Elevation  
Scale: 3/16" = 1'-0"

4 East Elevation (Courtyard)  
Scale: 3/16" = 1'-0"

5 Section  
Scale: 3/16" = 1'-0"



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Exterior Elevations

Scale 3/16"=1'-0"

Date 2018.02.15 Project No. 2017-25

In Charge MS  
Drawn By CS **A302**



Renovation for LEO Events:

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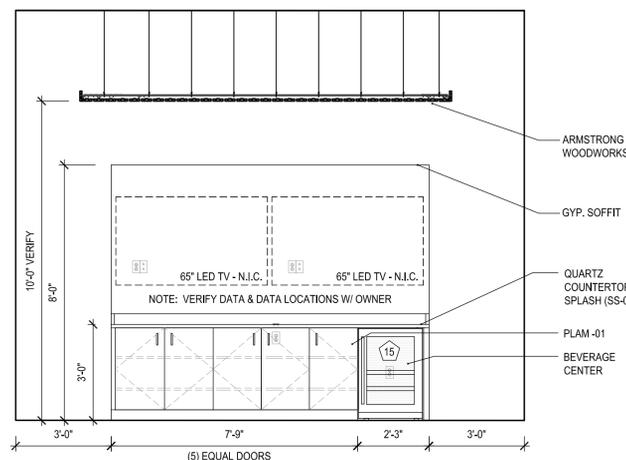


1936 Vanderhorn Drive

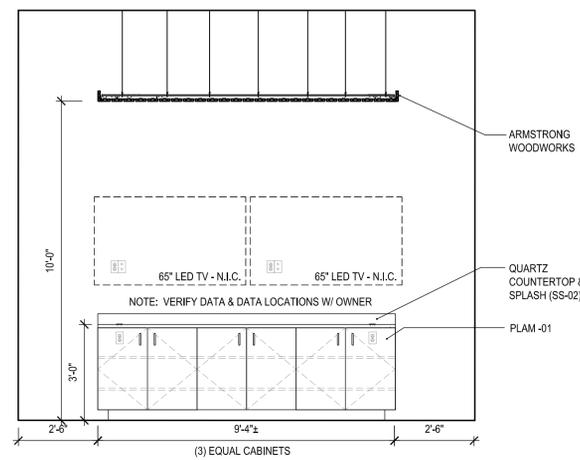
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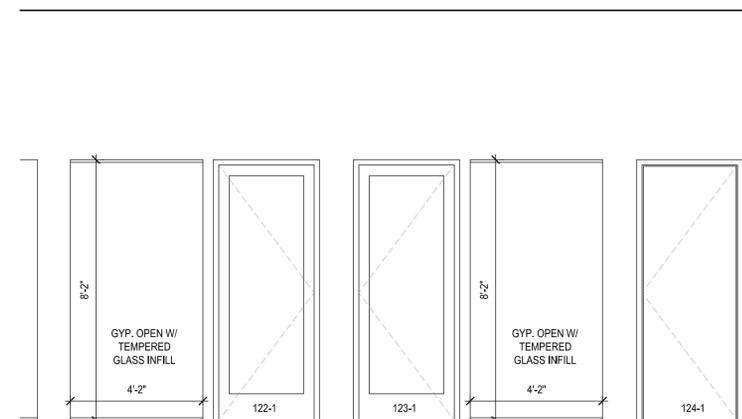
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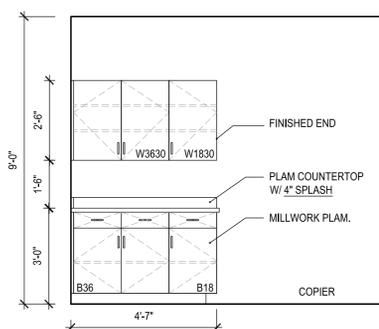
1 Elevation - Large Conference Room  
Scale: 3/8" = 1'-0"



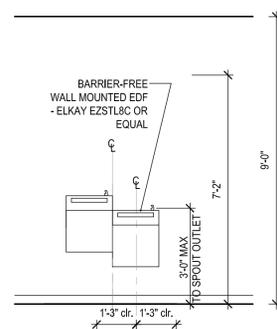
2 Elevation - Small Conference Room  
Scale: 3/8" = 1'-0"



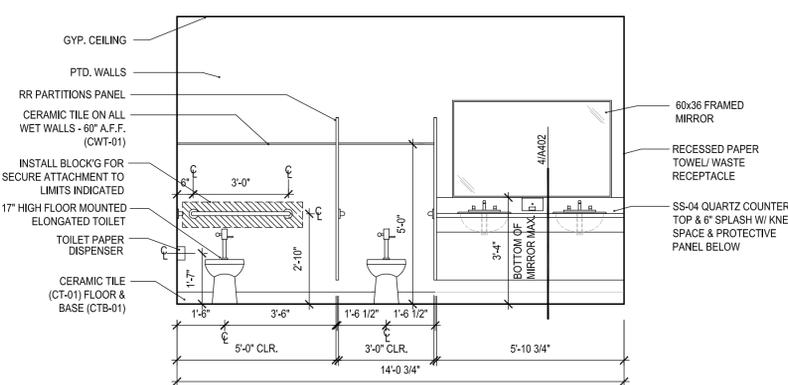
3 Elevation - Offices  
Scale: 3/8" = 1'-0"



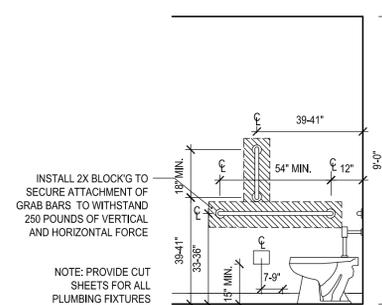
4 Elevation - Mail & Copy Room  
Scale: 3/8" = 1'-0"



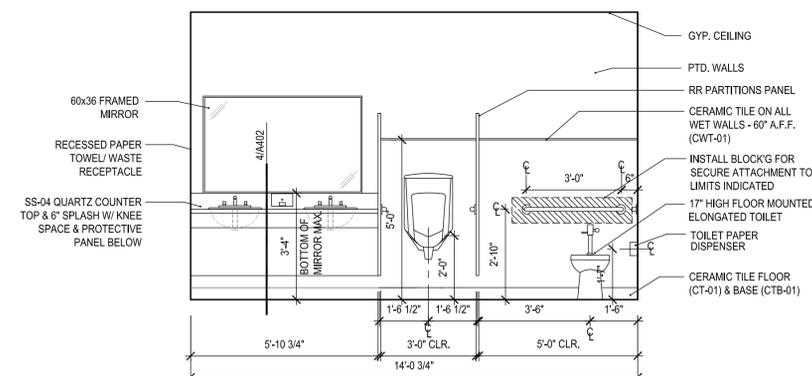
5 Elevation - ADA Drinking Fountain  
Scale: 3/8" = 1'-0"



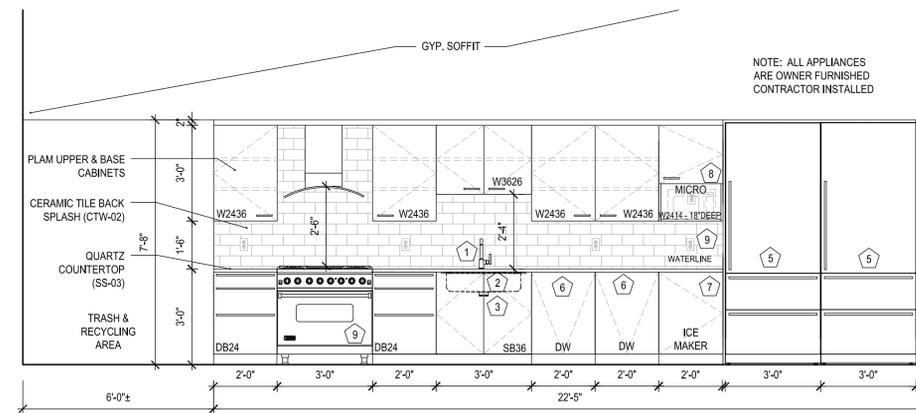
6 Elevation - Women's Restroom  
Scale: 3/8" = 1'-0"



7 Elevation - Restroom  
Scale: 3/8" = 1'-0"



8 Elevation - Men's Restroom  
Scale: 3/8" = 1'-0"



9 Elevation - Break Area  
Scale: 3/8" = 1'-0"

Appliance & Fixture Schedule Keynotes

Breakroom	1 faucet	MIRXCP51D1CP	CCY LF 1.8 1HDL PREP KITC FCT CP
	2 Sink	MIRDM1B24	33x22 1B DUAL MOUNT SS SINK 4H
	3 Disposal	IPRO750	3/4 HP PRO 750 DISP
	4 Coffee	LEG119B	Brew Express 10 Cup Carafe Black
	5 Refrigerator	BEC 110 85 (??)	WVRF535SMHZ
	6 Dishwasher	WWD710PAHZ	CCY 5 CYC 5 OPT FULLY INTEG CONSOLE
	7 Ice Maker	WGI15PDXZS	LF 15 SS 25 LB CAPA REV DR IM
	8 Microwave	WWM50522AS	0717 CCY SS 2.2 CF C/TOP MWAVE
	9 Range	WVEE510S0FS	CCY SI RNGE BLAC/SS 30 ELEC 4 BRNR
Bar	10 faucet	MIRXCRA103CP	CCY LF 1.8 1HDL LEV BAR *RAVENE CP
	11 Sink	MIRDM1515Z1	15x15 1B DUAL MOUNT SINK 1H
	12 Disposal	IPRO750	3/4 HP PRO 750 DISP
	13 Wine Cooler	WVUW35X24DS	CCY UC WINE COLR 24 SS
	14 Ice Maker	WGI15PDXZS	LF 15 SS 25 LB CAPA REV DR IM
Conf Rm	15 Beverage Center	WVUW850X24HZ	CCY 24 BEV CENTER GLS

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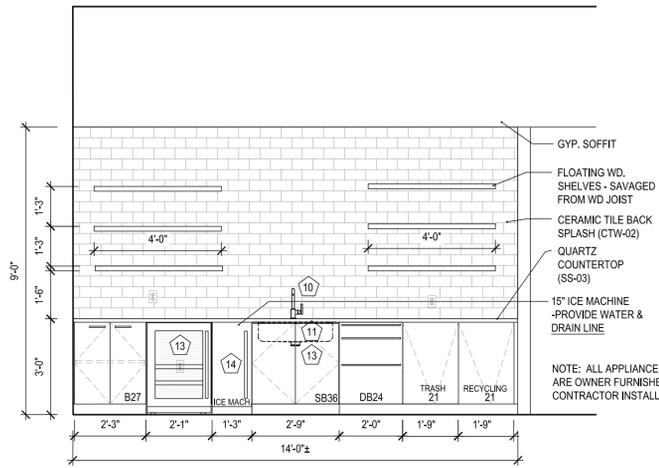
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Revision	Date	No.
Pricing Documents	10.23.2017	
Bid Documents	11.14.2017	
Permit Documents	02.15.2018	

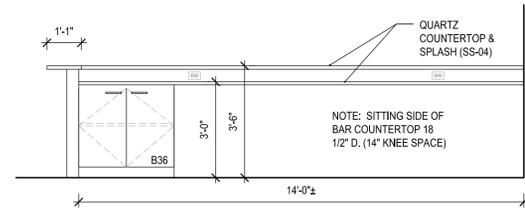
Interior Elevations

Scale 3/8"=1'-0"  
Date 2018.02.15 Project No. 2017-25

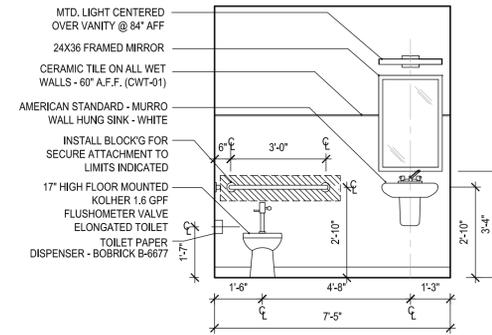
In Charge MS  
Drawn By CS  
A401



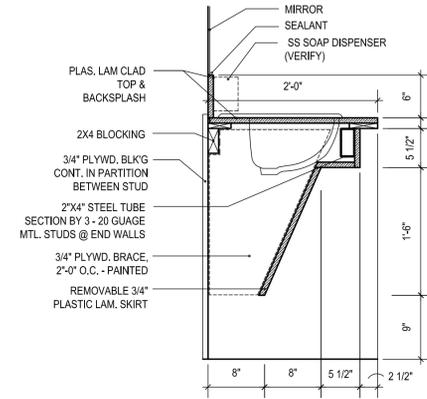
1 Elevation - Bar Area  
Scale: 3/8" = 1'-0"



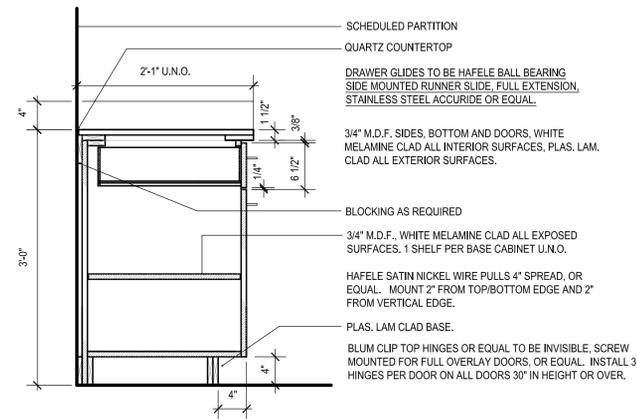
2 Elevation - Bar Area  
Scale: 3/8" = 1'-0"



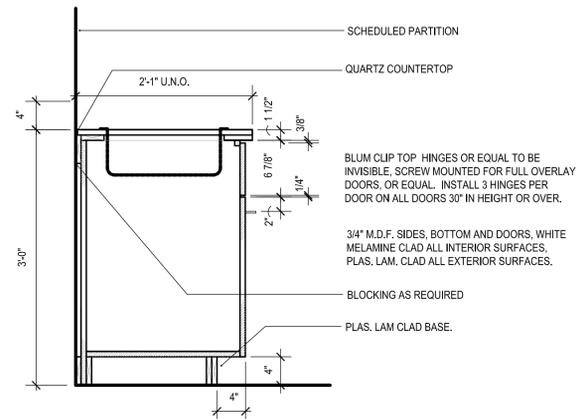
3 Elevation - Restroom  
Scale: 3/8" = 1'-0"



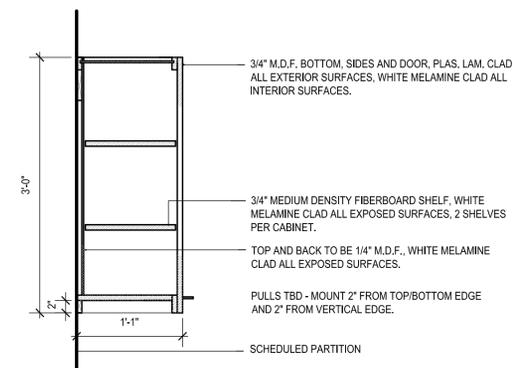
4 Millwork Section - Vanity  
Scale: 1" = 1'-0"



5 Section - Base Cabinet  
Scale: 1" = 1'-0"



6 Section - Sink Base Cabinet  
Scale: 1" = 1'-0"



7 Section - Upper Cabinet  
Scale: 1" = 1'-0"



Renovation for LEO Events:

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Memphis, TN 38103



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Interior Elevations & Millwork Sections

Scale 3/8"=1'-0"

Date 2018.02.15 Project No. 2017-25

In Charge MS  
Drawn By CS

A402